

Project ID:	Haggard Farm
Location:	Plaano TX, 75024
Scope of Work:	Roofing
Date:	

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
DIVISION.01 GENERAL REQUIREMENTS														
1		Supervision and Coordination	LS	1		1	\$ -	\$ -	650.000	\$ 45.00	\$ 29,250.00	\$ 29,250.00	\$ 29,250.00	
2		Submittals and Shop drawings	LS	1		1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 3,500.00	
3		Final Cleaning	LS	1		1	\$ -	\$ -	70.000	\$ 45.00	\$ 3,150.00	\$ 3,150.00	\$ 3,150.00	
4		Mobilization Costs	LS	1		1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 12,000.00	
5		Temporary Control & Facilities	LS	1		1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 7,500.00	
Subtotal (General Requirements)														\$ 55,400

DIVISION 07- THERMAL & MOISTURE PROTECTION														
A4101 - A4107	Roofing													
	Roof Covering													
	6	Single Ply TPO Roofing Membrane	SF	114272	5%	119986	\$ 1.85	\$ 221,973.36	0.013	\$ 45.00	\$ 0.59	\$ 70,191.58	\$ 292,164.94	
	7	Standing Seam Metal Roof	SF	11110	5%	11666	\$ 4.75	\$ 55,411.13	0.045	\$ 55.00	\$ 2.48	\$ 28,872.11	\$ 84,283.24	
	8	Weather Barrier	SF	11110	5%	11666	\$ 0.40	\$ 4,666.20	0.006	\$ 45.00	\$ 0.27	\$ 3,149.69	\$ 7,815.89	
	9	Self Adhered Water Proofing Membrane	SF	11110	5%	11666	\$ 1.10	\$ 12,832.05	0.010	\$ 45.00	\$ 0.45	\$ 5,249.48	\$ 18,081.53	
	Insulation													
	10	Tampered Insulation	SF	18240	5%	19152	\$ 1.75	\$ 33,516.00	0.009	\$ 45.00	\$ 0.41	\$ 7,756.56	\$ 41,272.56	
	11	Rigid Insulation	SF	77477	5%	81351	\$ 0.80	\$ 65,080.68	0.006	\$ 45.00	\$ 0.27	\$ 21,964.73	\$ 87,045.41	
	Flashing													
	12	Hip Flashing	LF	73	5%	77	\$ 4.50	\$ 344.93	0.050	\$ 55.00	\$ 2.75	\$ 210.79	\$ 555.71	
	13	Ridge Flashing	LF	349	5%	366	\$ 4.50	\$ 1,649.03	0.050	\$ 55.00	\$ 2.75	\$ 1,007.74	\$ 2,656.76	
	14	Valley Flashing	LF	58	5%	61	\$ 5.00	\$ 304.50	0.050	\$ 55.00	\$ 2.75	\$ 167.48	\$ 471.98	
	15	Metal Flashing	LF	5141	5%	5398	\$ 6.00	\$ 32,388.30	0.060	\$ 55.00	\$ 3.30	\$ 17,813.57	\$ 50,201.87	
	16	Step Wall Flashing	LF	1505	5%	1580	\$ 4.00	\$ 6,321.00	0.050	\$ 55.00	\$ 2.75	\$ 4,345.69	\$ 10,666.69	
	17	Drip Edge Flashing	LF	4659	5%	4892	\$ 3.00	\$ 14,675.85	0.050	\$ 55.00	\$ 2.75	\$ 13,452.86	\$ 28,128.71	
	18	Metal Counter Flashing	LF	260	5%	273	\$ 6.50	\$ 1,774.50	0.060	\$ 55.00	\$ 3.30	\$ 900.90	\$ 2,675.40	
	19	Flashing For HVAC Equipment	LF	4686	55%	7263	\$ 6.00	\$ 43,579.80	0.060	\$ 55.00	\$ 3.30	\$ 23,968.89	\$ 67,548.69	
	20	Flashing For Elevator Opening	LF	136	5%	143	\$ 6.00	\$ 856.80	0.060	\$ 55.00	\$ 3.30	\$ 471.24	\$ 1,328.04	
	21	Prefinished Metal Parapet Coping	LF	3267	5%	3430	\$ 14.00	\$ 48,024.90	0.080	\$ 55.00	\$ 4.40	\$ 15,093.54	\$ 63,118.44	
	Walk pad													
	22	TPO Walk Pad Hot Air Welded w/ Sacrificial Layer Of TPO	SF	7417	5%	7788	\$ 3.50	\$ 27,257.48	0.020	\$ 45.00	\$ 0.90	\$ 7,009.07	\$ 34,266.54	
	Roof Hatch													
	23	(48"x 48") Roof Hatch	EA	2	0%	2	\$ 2,400.00	\$ 4,800.00	8.000	\$ 55.00	\$ 440.00	\$ 880.00	\$ 5,680.00	
	Ladder													
	24	Ladder (16' H)	EA	2	0%	2	\$ 1,800.00	\$ 3,600.00	10.000	\$ 55.00	\$ 550.00	\$ 1,100.00	\$ 4,700.00	
	Gutter													
	25	Prefinished Aluminum Gutter	LF	840	5%	882	\$ 12.00	\$ 10,584.00	0.080	\$ 55.00	\$ 4.40	\$ 3,880.80	\$ 14,464.80	
	Downspout & Box & Scupper													
	26	20 Galv. Sheet Metal Collection Box	EA	65	0%	65	\$ 150.00	\$ 9,750.00	1.500	\$ 55.00	\$ 82.50	\$ 5,362.50	\$ 15,112.50	
	27	Metal Downspout (65 EA)	LF	2883	5%	3027	\$ 9.00	\$ 27,244.35	0.060	\$ 55.00	\$ 3.30	\$ 9,989.60	\$ 37,233.95	
	28	Overflow Scupper	EA	65	0%	65	\$ 120.00	\$ 7,800.00	1.500	\$ 55.00	\$ 82.50	\$ 5,362.50	\$ 13,162.50	
	Sealant													
	29	Sealant At Scupper	LF	260	5%	273	\$ 0.85	\$ 232.05	0.020	\$ 45.00	\$ 0.90	\$ 245.70	\$ 477.75	
	30	Backer Rod And Sealant	LF	6534	5%	6861	\$ 1.10	\$ 7,546.77	0.025	\$ 45.00	\$ 1.13	\$ 7,718.29	\$ 15,265.06	
	Misc. Items													
	31	Decorative Metal Canopy	SF	679	5%	713	\$ 45.00	\$ 32,082.75	0.350	\$ 55.00	\$ 19.25	\$ 13,724.29	\$ 45,807.04	
32	Termination Bar	LF	1505	5%	1580	\$ 1.20	\$ 1,896.30	0.020	\$ 45.00	\$ 0.90	\$ 1,422.23	\$ 3,318.53		
Subtotal (Thermal & Moisture Protection)							\$ 676,193				\$ 271,312	\$ 947,504		

												PROJECTED COST	\$ 1,002,904
												INSURANCE	\$ 30,087
												CONTINGENCY	\$ 50,145
												OVERHEAD AND PROFIT	\$ 150,436
												TAX	\$ -
												SUGGESTED BID	\$ 1,233,573

- Note:**
- Please verify the equipment's and their prices with owner.
 - Online sources are used for pricing.
 - Prices can vary depending upon field conditions.

PRICING SOURCES & ASSUMPTIONS

1. Pricing Basis & Date

Prices reflect Q3 2026 (July 2026) market levels for the Dallas–Fort Worth metro (Project location: Plano, TX 75024 — Collin County / DFW metroplex). Values represent a specialty roofing subcontractor's direct material and installed-labor costs. Extended costs = (Unit Material × Qty-with-Wastage) + (Unit Manhours × Hourly Wage × Qty-with-Wastage), consistent with the workbook's existing formulas. Unit rates for line items common to the Urban Living Phase 2 estimate were carried over unchanged; items unique to this takeoff were priced using the same resources, wage tiers, and methodology.

2. Primary Pricing Sources

- RSMeans 2026 Building Construction Cost Data (Gordian) — unit material costs and crew productivity/output, localized to the DFW City Cost Index.
- Craftsman National Construction Estimator 2026 — labor manhour production rates.
- Manufacturer & regional distributor list pricing, Q2–Q3 2026 — TPO membrane & walk pad, polyiso & tapered insulation, self-adhered underlayment / WRB, prefinished edge metal, coping, gutters, downspouts, scuppers, roof hatches.
- Published 2026 market surveys — NRCA Cost-of-Roofing Survey 2026 and single-ply / standing-seam installed-cost data for cross-checking system \$/SF.
- Wage data — U.S. BLS and regional (DFW) wage surveys for Roofers and Sheet-Metal Workers, 2026.

3. Labor Basis

Fully-burdened blended crew wages: \$45.00/hr for general roofing trades (membrane, insulation, underlayment / weather barrier, walk pad, sealant) and \$55.00/hr for sheet-metal / architectural-metal trades (standing seam, coping, all formed flashings, gutters, downspouts, scuppers, collection boxes, roof hatch, ladder, decorative canopy). Burden includes payroll taxes, workers' compensation (high roofing class rate), general liability, and standard fringe/benefits. Wastage is carried at 0% per this takeoff (the Wastage column was provided as 0 and left unchanged); add a material allowance if desired before contract award.

4. Key Assumptions

- All quantities, wastage factors, formulas, formatting, and worksheet structure were provided in the takeoff and preserved unchanged; only Unit Material Cost, Unit Manhour, and Hourly Wage inputs were added.
- Rates for items matching the Urban Living Phase 2 priced estimate are IDENTICAL: Single-Ply TPO membrane, standing seam metal, tapered insulation, rigid (polyiso) insulation, hip & step-wall flashing, elevator/hatch flashing, prefinished coping, aluminum gutter, roof hatch, ladder, termination bar, and sealant.
- Items unique to this takeoff were DERIVED within the same rate structure: Weather Barrier as mechanically-fastened synthetic WRB/underlayment (\$0.40/SF); Self-Adhered Waterproofing as peel-and-stick membrane (\$1.10/SF); Ridge/Valley/Metal/Drip-Edge/Counter/HVAC flashings as shop-formed 24-ga prefinished metal (\$3.00–\$6.50/LF); TPO walk pad as reinforced hot-air-welded pad (\$3.50/SF); downspouts (\$9.00/LF), conductor/collection boxes (\$150/EA), and overflow scuppers (\$120/EA) as fabricated sheet metal; Backer-Rod-& Sealant as sealant plus backer rod (\$1.10/LF).
- Decorative Metal Canopy is carried as a design-build ALLOWANCE (\$45.00/SF material + 0.35 mh/\$F install); verify scope, structure, and finish with the Owner/architect before bid (see cell note).
- Standing seam = 24-ga Galvalume/PVDF architectural panel over self-adhered underlayment and weather barrier.
- Division 01 General Requirements carried as lump-sum allowances consistent with the reference estimate.
- Insurance (3%), Contingency (5%), and Overhead & Profit (15%) applied per the reference estimate's markup structure.

5. Exclusions

- Structural roof deck, deck repair/replacement, and tear-off / removal & disposal of existing roofing.
- Payment/performance bonds, permits, and impact/tap fees.
- Below-deck plumbing tie-in of roof drains/scuppers, mechanical, electrical, and lightning protection.
- Roof/HVAC equipment and curbs themselves (flashing of the curbs IS included; the units/curbs are not), solar, ballast/pavers, and vegetated-roof assemblies.
- Overtime / night / weekend premiums, winter-condition costs, and price escalation beyond the pricing date.
- Owner-furnished items and design/engineering of deferred submittals.
- Per existing project notes, verify equipment items and prices with the Owner prior to bid.

Estimate prepared: July 2026 | Pricing date: Q3 2026 | Basis: RSMeans/Gordian 2026, Craftsman 2026, 2026 supplier & NRCA survey data, DFW-localized; matched line items carried from the Urban Living Phase 2 estimate. This is a Class 2 (bid/budget) estimate; verify field conditions and current quotes before contract award.

ÓBRIEN



PLANO, TX 75024

TDLR # TABS2023023981

O'BRIEN ARCHITECTS
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HAGGARD FARM

PLANO, TEXAS 75024

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ENGINEER
VIEWTECH**

MEP ENGINEER
JORDAN & SKALA

CIVIL
KIMLEY HORN

LANDSCAPE
LANDDESIGN

**INTERIOR DESIGN
B2 ARCHITECTURE
+ DESIGN**

PROJECT DIRECTORY

1. THE CONTRACTOR SHALL, AT ALL TIMES, MAINTAIN THE PREMISES AND LAND ABIDE BY THE EXISTING CONDITIONS IN ADDITION TO THE ENTIRE CURRENT SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PROMPTLY OF ANY DISCREPANCIES IN THE FIELD CONDITIONS OR DIMENSIONS PRIOR TO SUBMITTING HIS BID.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE EXIST LOCATION OF ALL PARTITIONS, DOORS, TELEPHONE & ELECTRICAL OUTLETS AND LIGHT SWITCHES WITH THE ARCHITECT SHOULD ANY QUESTIONS REGARDING LOCATION ARISE IN THE FIELD WHICH ARE NOT RESOLVED BY THE CONSTRUCTION DOCUMENTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REQUIREMENTS, BUILDING CODES, AND ORDINANCES.
4. ALL EQUIPMENT, FURNITURE, ETC. SHOWN ON THE PLANS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL ELIMINATE SWAMP DRAINAGES AND LANDSCAPES OF ALL SPECIAL CONSTRUCTION, ETC. IN A TIMELY MANNER FOR THE ARCHITECT TO REVIEW PRIOR TO CONSTRUCTION.
6. DIMENSIONS ARE SHOWN ON THE PLANS; DO NOT SCALE OFF THE DRAWINGS.
7. ALL HEIGHTS ARE DIMENSIONS FROM THE TOP OF THE CONCRETE SLAB UNLESS NOTED OTHERWISE.
8. ALL FINISH & CONSTRUCTION MATERIALS USED SHALL MEET MINIMUM REQUIRED FIRE CLASS & SMOKE DEVELOPED RATING, I.E. CLASS A-1.
9. ALL INTERNAL PARTITIONS WHICH EXTEND TO CEILING OR DECK ABOVE SHALL BE TYPE-TYPED PARTITIONS, INCLUDING ALL WALLS OF PARTITION WALLS & ABOVE CEILING TO STRUCTURE ABOVE. CEILING PARTITIONS OR PARTITIONS THROUGH THE PARTITION FOR SAVED PARTITIONS ARE TO FOLLOW THE U.S. BUILDING AND CONSTRUCTION REQUIREMENTS.
10. MANUFACTURED FURNITURE, EQUIPMENT, ETC. SPECIFIC FOR THIS CONTRACT SHALL BE INSTALLED ACCORDING TO THE "TYPE" OF STRUCTURAL INDICATIONS AND/OR COMBINATIONS.
11. "TYPE" OF STRUCTURAL MEANS TYPICAL SHALL BE SHOWN CORNER AND UNLESS NOTED OTHERWISE.
12. "MEANS" MEANS THAT SMALL COMPONENTS OF CONSTRUCTION SUCH AS WALLS, JAMES, ETC. SHALL ALSO ADDRESS WORK OR ADJUSTED TO EXISTING CONSTRUCTION.
13. TO THE ARCHITECT SHALL BE THE PRIMARY SOURCE FOR INFORMATION REGARDING EACH DESIGN, I.E. ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL, ETC.
14. ALL MATERIAL, USED FOR NEW CONSTRUCTION INCLUDING BUT NOT LIMITED TO, INSULATION, ADHESIVE, COATINGS, ETC., SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
15. ALL FINISHING AND STRUCTURAL MODELS ARE SHOWN ON GRAPHIC PAPERS ONLY. REFER TO STRUCTURAL DRAWINGS FOR ACT. DIMENSIONS AND DETAILS.

- NEW OPEN**
NAME: STILLWATER CAPITAL
ADDRESS: 2515 MORRIS AVENUE, SUITE 1200
DALLAS, TX 75201
CONTACT: WACIE PRITCHARD
PHONE: (214) 880-3215
EMAIL: COLLEEN@STILLWATERCAP.COM

- ARCHITECT**
NAME: CUBEN ARCHITECTS
ADDRESS: 1700 SOUTH ST, SUITE 101
DALLAS, TX 75201
CONTACT: JASMINE CHENG
PHONE: (972) 392-0002
EMAIL: JASMINE.C@CUBENARCH.COM

- ORGANIZATION:
NAME: VENTED INC
ADDRESS: 1006 BELLWAY DR
ADDISON, TX 75001
CONTACT: JOHN LUGAK
PHONE: (972) 412-0077
EMAIL: JLV@VINC.NET

- NEP-PRO-000**
NAME: JORDAN S ORSKA
ADDRESS: 3301 W PLANO PKWY #200
PLANO, TX 75075
CONTACT: JOSH WILLY
PHONE: (409) 360-1016 X3271
EMAIL: JWS@JORDANORSKA.COM

- CVS PHARMACY
NAME: KIMBERLY HORN
ADDRESS: 13425 NEHL ROAD #708
DALLAS, TX 75240
CONTACT: 504-843-3031, FL
PHONE: (214) 775-1347
EMAIL: DANA1300T@GMAIL.COM

- LANDSCAPE ARCHITECT**
NAME: LANDSCAPE INC.
ADDRESS: 1311 ALPHE ROAD, SUITE 28
DALLAS, TX 75201
CONTACT: ANNA BLUM RIDLEY
PHONE: (214) 524-6669
EMAIL: HENDERSON@LANDSCAPEINC.COM

- INTERIOR DESIGN
NAME: D2 DESIGN CO.
ADDRESS: 1710 W. DIVISION ST.
CHICAGO, IL 60622
CONTACT: CARRON SOLANO
PHONE: (774) 945-5484
EMAIL: CARRON@D2DESIGNCO.COM

- CONTACT INFORMATION**
NAME: ECS SOUTHWEST, L.P.
ADDRESS: 3835 HELLWAY DRIVE, SUITE 118
CARROLLTON, TX 75686
CONTACT: MICHAEL SATUNA
PHONE: (972) 362-3222
EMAIL: MSATUNA@ECSUNLIMITED.COM

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ISSUE LOG

DATE	DESCRIPTION
06/10/03	ISSUE FOR PERMIT
02/01/05	ISSUE FOR CONSTRUCTION

REVISION LOG

DATE	DESCRIPTION	CR
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PROJECT NO.: 22-1

ISSN DATE: 0201

FOUR NAME	FOUR FOR CONTRACT
FOUR NAME	FOUR FOR CONTRACT



SHEET NO.

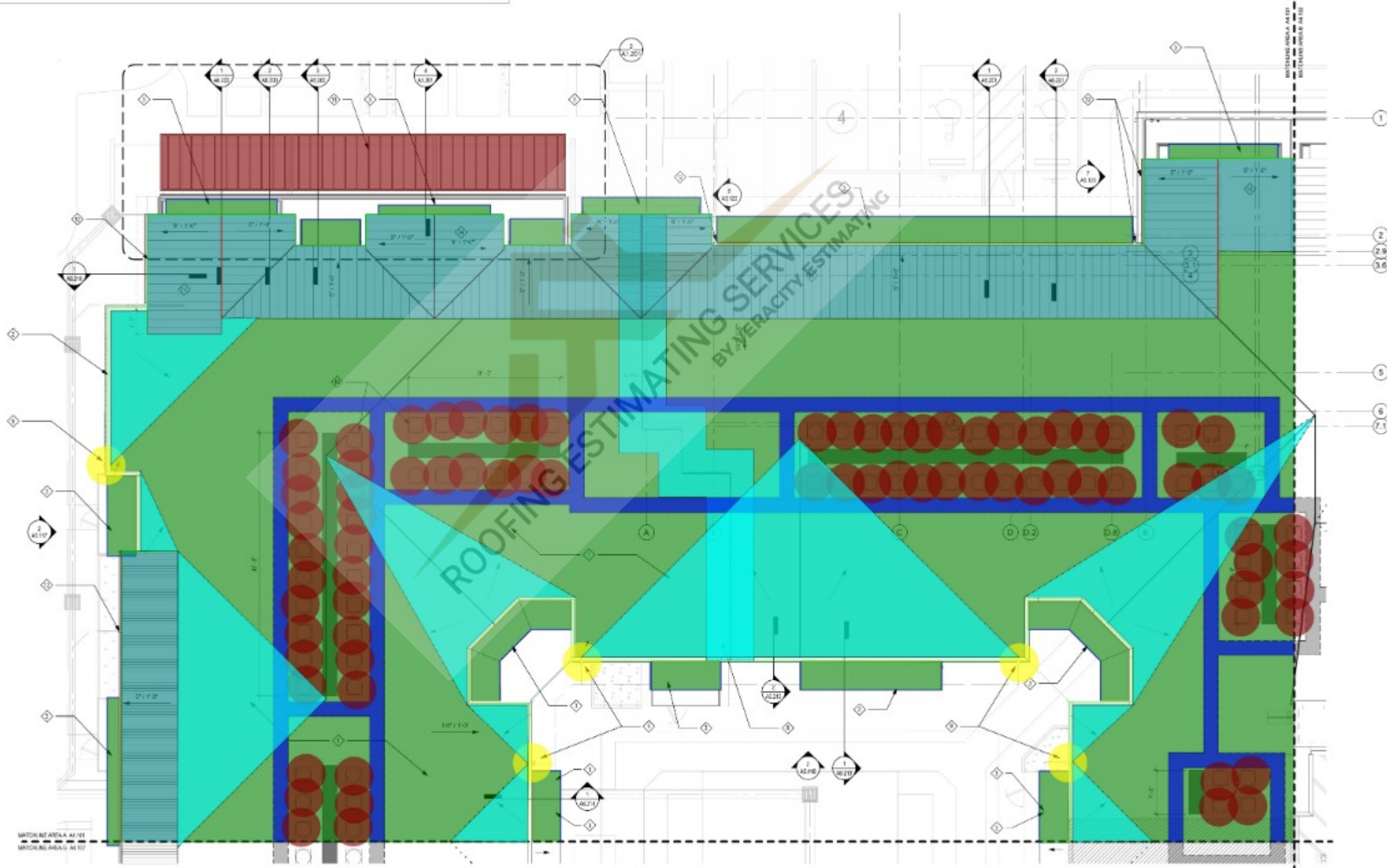
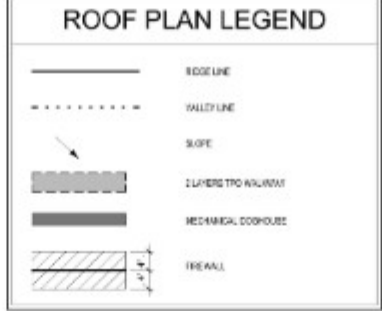
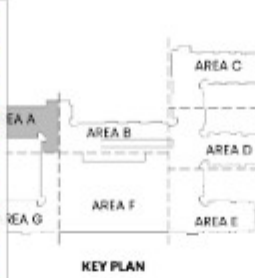
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COVER SHEET

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- Note 1: Single Ply TPO Roofing Membrane
- A6301/17 & Step Wall Flashing
- A6301/17
- Note 2: Prefinished Metal Parapet Coping A6.301/1
- Note: 12 Gutter
- Ridge Flashing
- Note 9: Collection Box
- FRT Roof Sheathing
- Note 13: Decorative Metal Canopy
- Valley Flashing
- Hip Flashing
- Note 14: Standing Seam Metal Roof
- Drip Edge Flashing
- Roof Walkway Pads
- Flashing For HVAC Equipment (11 LF)
- Tampered Insulation

- 15510.3 SQ FT
- 351.4 FT
- 395.5 FT
- 282.6 FT
- 204.0 FT
- 80.5 FT
- 5.0 EA
- 748.1 SQ FT
- 679.0 SQ FT
- 38.7 FT
- 73.3 FT
- 3611.5 SQ FT
- 317.5 FT
- 1632.8 SQ FT
- 79.0 EA
- 3769.0 SQ FT



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LANDESIGN

INTERIOR DESIGN
B2 ARCHITECTURE
+ DESIGN

ISSUE LOG	
DATE	DESCRIPTION
02/02/25	ISSUE FOR PERMIT
02/04/25	ISSUE FOR CONSTRUCTION

REVISION LOG		
DATE	DESCRIPTION	BY

PROJECT NO.: 22-017
ISSUE DATE: 02/02/25
ISSUE NAME: ROOF FOR CONSTRUCTION



SHEET NO.
A4.101
ENLARGED ROOF PLAN
- AREA A

COMPANY: O'BRIEN ARCHITECTS
ADDRESS: 1722 ROUTH STREET, SUITE 122, DALLAS, TX 75201
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LANDDESIGN

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+ DESIGN

ISSUE LOG

DATE	DESCRIPTION
04/10/00	ISSUE FOR PERMIT
05/04/00	ISSUE FOR CONSTRUCTION

REVISION LOG

DATE	DESCRIPTION	QTY
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PROJECT NO. 75-018

DATE	SECTION
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SHEET NO.

A4.102

ENLARGED ROOF PLAN
- AREA B

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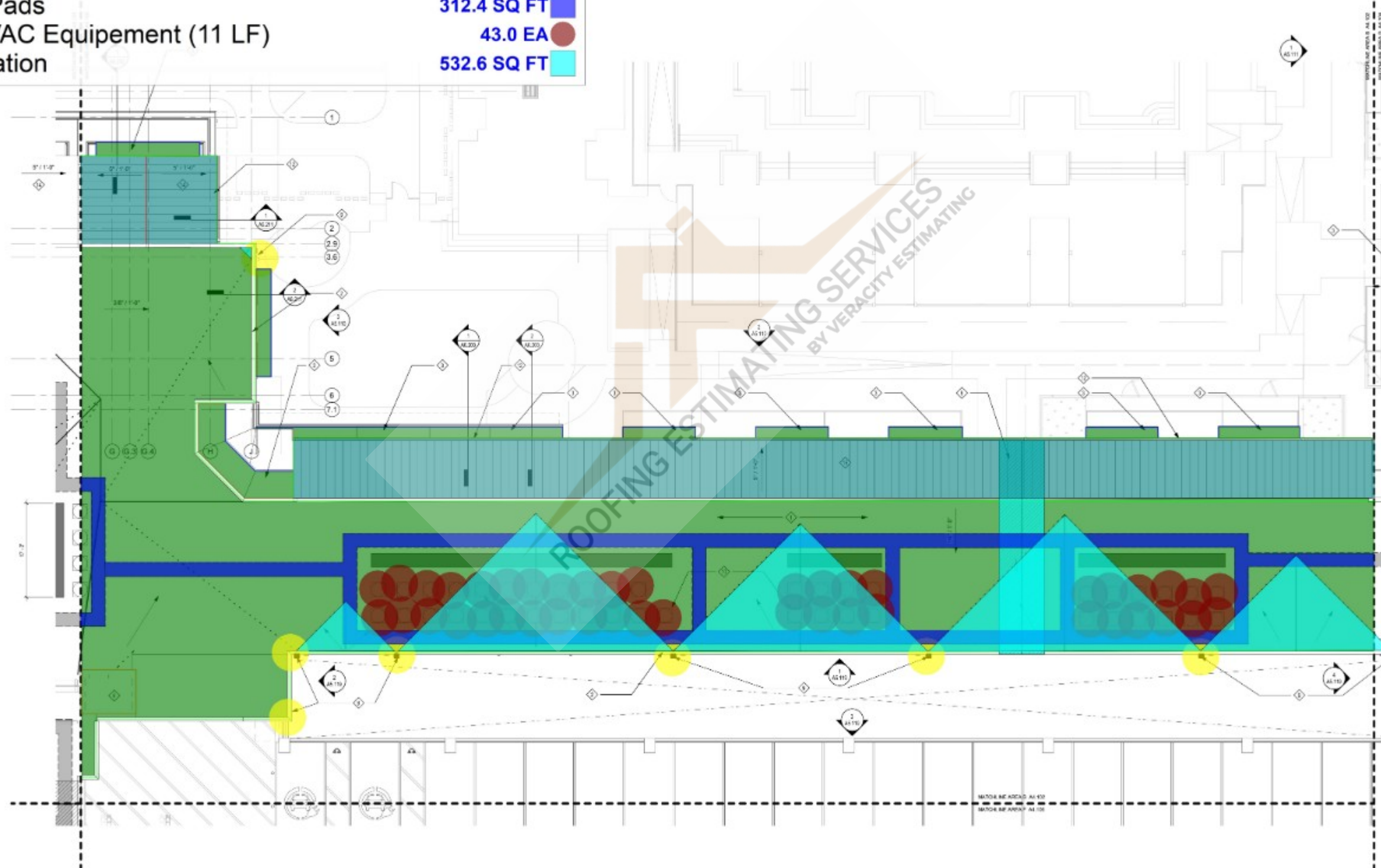
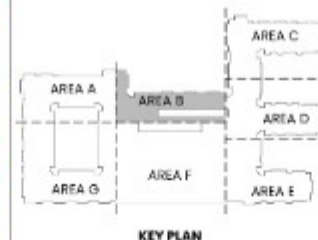
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1 ENLARGED ROOF PLAN - AREA B
1/8" = 1'-0"

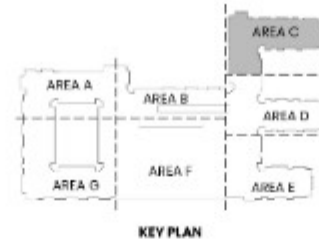
4/8" = 1'-0"

620.0 SQ FT	
7.9 FT	
105.4 FT	
7.0 EA	
263.7 FT	
2138.2 SQ FT	
95.1 FT	
107.4 FT	
17.8 FT	
79.3 SQ FT	
123.1 FT	
312.4 SQ FT	
43.0 EA	
532.6 SQ FT	

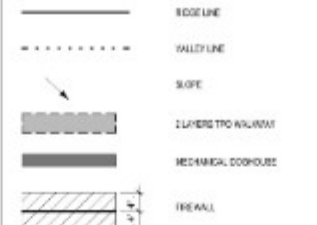


- FRT Roof Sheathing
- Note1-Single Ply TPO Roofing Membrane
- A6301/17 & Step Wall Flashing
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- Note 2: Prefinished Metal Parapet Coping A6.301/1
- Note: 12 Gutter
- Ridge Flashing
- Note 9: Collection Box
- Valley Flashing
- Note 14: Standing Seam Metal Roof
- Drip Edge Flashing
- Note4: 48"x 48"Roof Hatch
- Roof Walkway Pads
- Flashing For HVAC Equipement (11 LF)
- Tampered Insulation

288.1 SQ FT
15588.2 SQ FT
300.9 FT
382.8 FT
486.7 FT
168.9 FT
123.4 FT
14.0 EA
18.7 FT
2960.4 SQ FT
261.4 FT
1.0 EA
1279.3 SQ FT
66.0 EA
3698.5 SQ FT

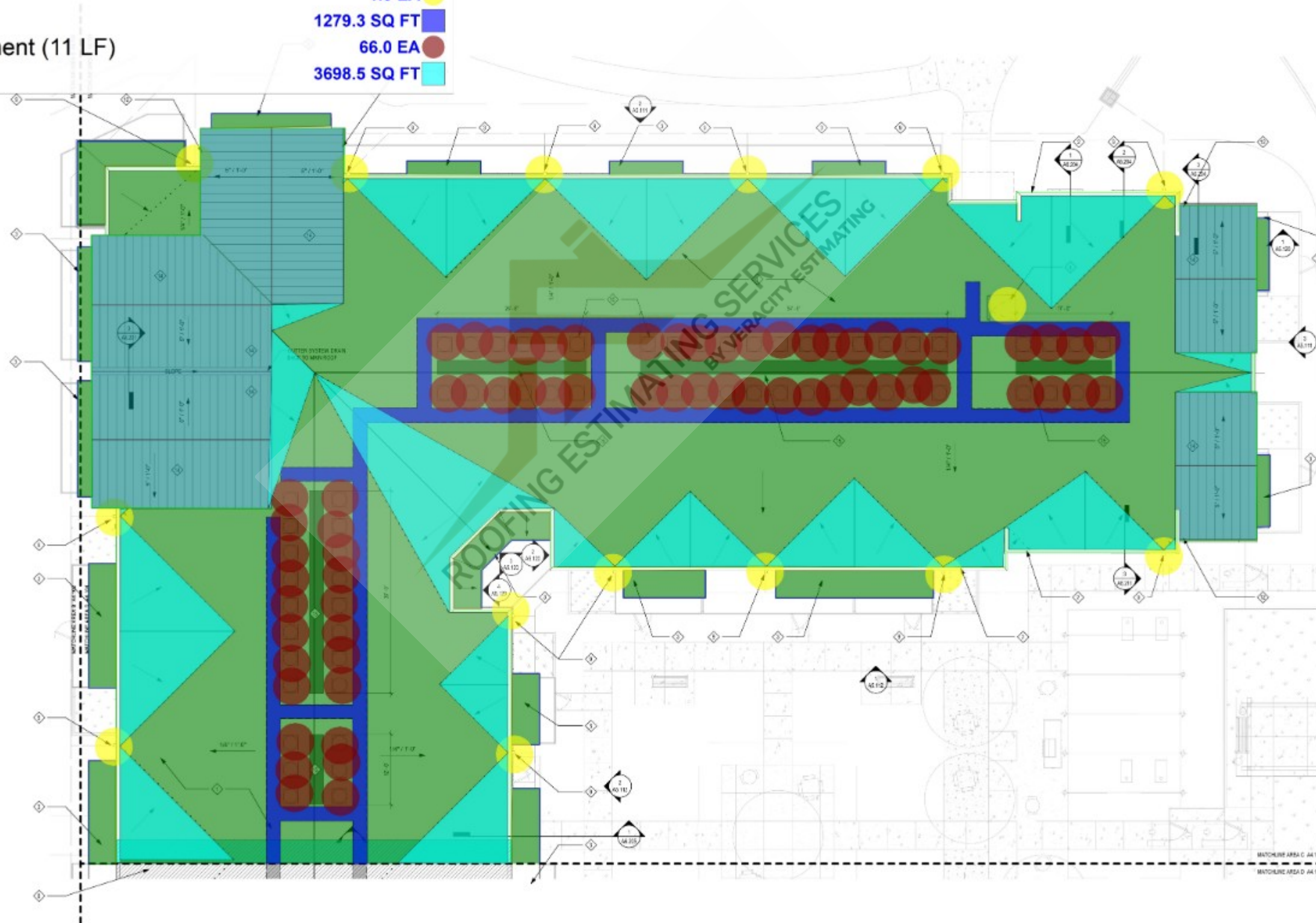


ROOF PLAN LEGEND



ROOF PLAN KEYNOTES

- SINGLE-PLY TPO ROOFING MEMBRANE
- PREFINISHED METAL PARAPET COPING
- CANOPY BELOW
- 48" X 48" ROOF HATCH
- 36" X 36" ROOF WALKWAY PADS, 42" O.C. TYP. ATTACH PER ROOFING MANUFACTURER GUIDELINES
- ELEVATOR OVER RUN
- TAMPED INSULATION CRICKET (PROVIDE SLOPE 1/4" PER FT. MIN.)
- NO OPENINGS PERMITTED 4'-0" EACH SIDE OF PERIMETER. USE FRT ROOF SHEATHING OR 5/8" TYPE 'X' GYP. BOARD BELOW DECK
- COLLECTION BOX, DOWNSPOUT, AND OVERFLOW SCUPPER
- MECHANICAL EQUIPMENT
- HVAC ROOF CONNECTION
- GUTTER AND DOWNSPOUT
- DECORATIVE METAL CANOPY
- STANDING SEAM METAL ROOF
- TRELLIS STRUCTURE
- MECHANICAL DOORHOUSE



1 ENLARGED ROOF PLAN - AREA C

1/8" = 1'-0"

O'BRIEN

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PLANO, TEXAS 75024

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INTERIOR DESIGN
B2 ARCHITECTURE
+ DESIGN

ISSUE LOG

DATE	DESCRIPTION
02/02/25	ISSUE FOR PERMIT
02/03/25	ISSUE FOR CONSTRUCTION

REVISION LOG

DATE	DESCRIPTION	REVISION
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PROJECT NO.: 22-017
ISSUE DATE: 02/02/25
ISSUE NAME: ROOF FOR CONSTRUCTION



SHEET NO.

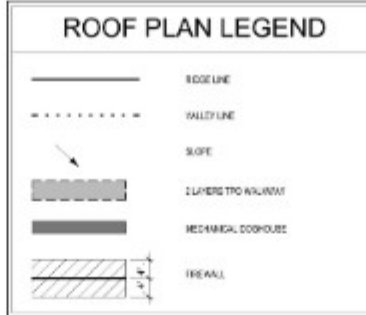
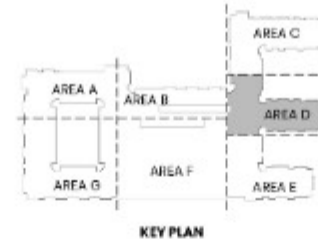
A4.103

ENLARGED ROOF PLAN
- AREA C

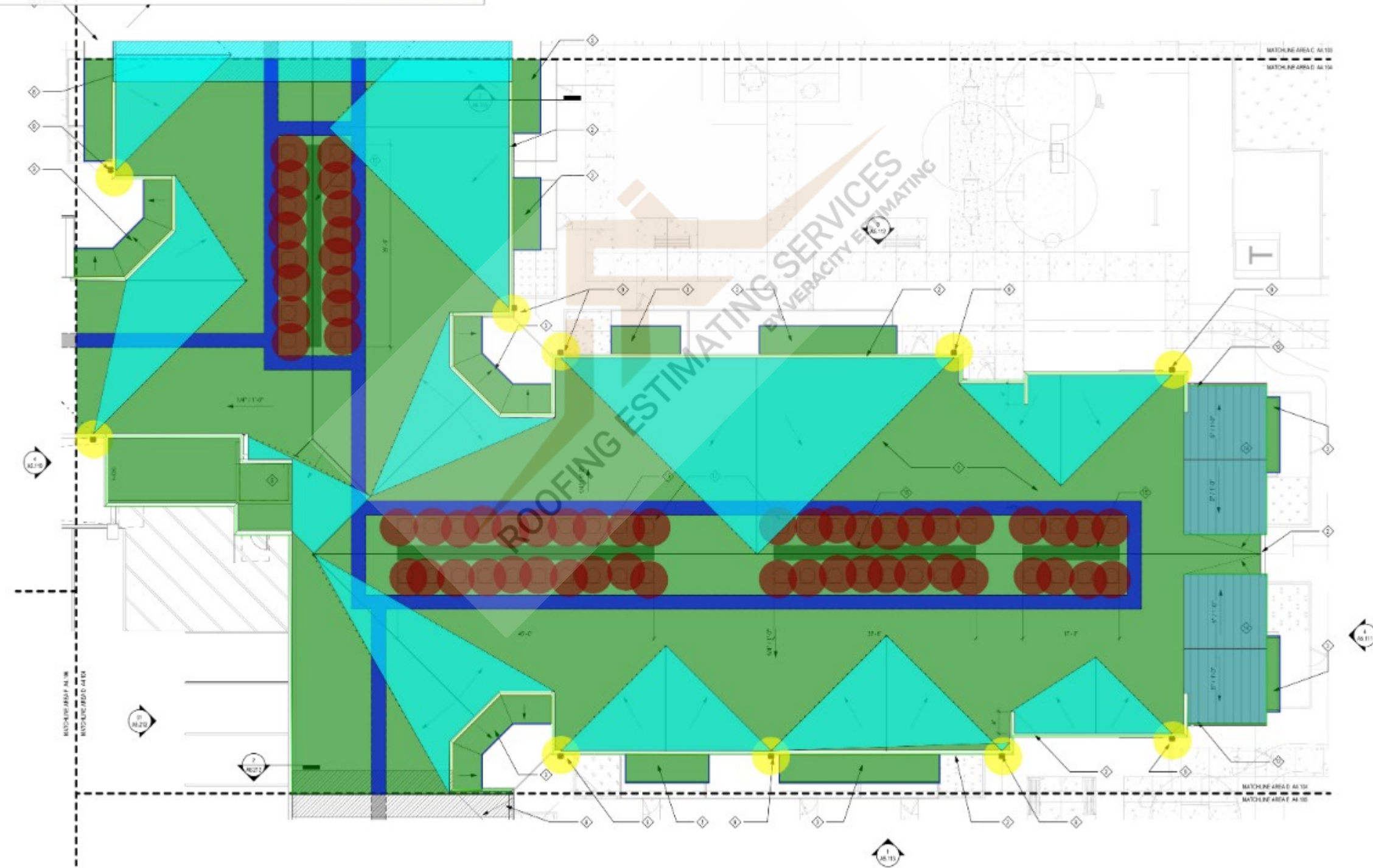
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- Note 1-Single Ply TPO Roofing Membrane
- Flashing For Elevator opening
- A6301/17 & Step Wall Flashing
- A6301/17
- Note 2: Prefinished Metal Parapet Coping A6.301/1
- Note: 12 Gutter
- Ridge Flashing
- Note 9: Collection Box
- FRT Roof Sheathing
- Note 14: Standing Seam Metal Roof
- Drip Edge Flashing
- Roof Walkway Pads
- Flashing For HVAC Equipment (11 LF)
- Tampered Insulation

- 7110.0 SQ FT
- 14.2 FT
- 175.0 FT
- 187.4 FT
- 400.2 FT
- 37.9 FT
- 19.3 FT
- 10.0 EA
- 220.2 SQ FT
- 337.3 SQ FT
- 73.0 FT
- 589.8 SQ FT
- 60.0 EA
- 2151.1 SQ FT



- ### ROOF PLAN KEYNOTES
- 1 SINGLE-PLY TPO ROOFING MEMBRANE
 - 2 PREFINISHED METAL PARAPET COPING
 - 3 CANOPY BELOW
 - 4 48" X 60" ROOF HATCH
 - 5 36" X 36" ROOF WALKWAY PADS, 42" O.C. TYP. ATTACH PER ROOFING MANUFACTURER GUIDELINES
 - 6 ELEVATOR OVER RUN
 - 7 TAMPED INSULATION CRICKET (PROVIDE SLOPE 1/4" PER FT. MIN.)
 - 8 NO SPRINKLES PERMITTED 4'-0" EACH SIDE OF FIREWALL, USE FRT ROOF SHEATHING OR 5/8" TYPE 'X' GYP. BOARD BELOW DECK
 - 9 COLLECTION BOX, DOWNSPOUT, AND OVERFLOW SCUPPER
 - 10 MECHANICAL EQUIPMENT
 - 11 HVAC ROOF CONNECTION
 - 12 GUTTER AND DOWNSPOUT
 - 13 DECORATIVE METAL CANOPY
 - 14 STANDING SEAM METAL ROOF
 - 15 TRELLIS STRUCTURE
 - 16 MECHANICAL DOORHOUSE



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1 ENLARGED ROOF PLAN - AREA D
1/8" = 1'-0"

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02/04/25	ISSUE FOR CONSTRUCTION

REVISION LOG

DATE	DESCRIPTION	BY
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PROJECT NO.	22-017
ISSUE DATE	02/02/25
ISSUE NAME	ISSUE FOR CONSTRUCTION

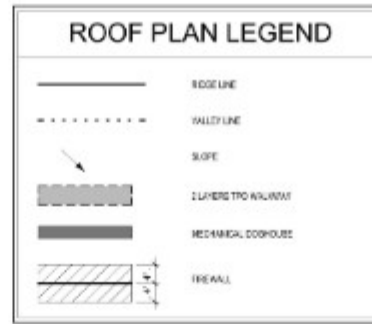


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A4.104
ENLARGED ROOF PLAN
- AREA D

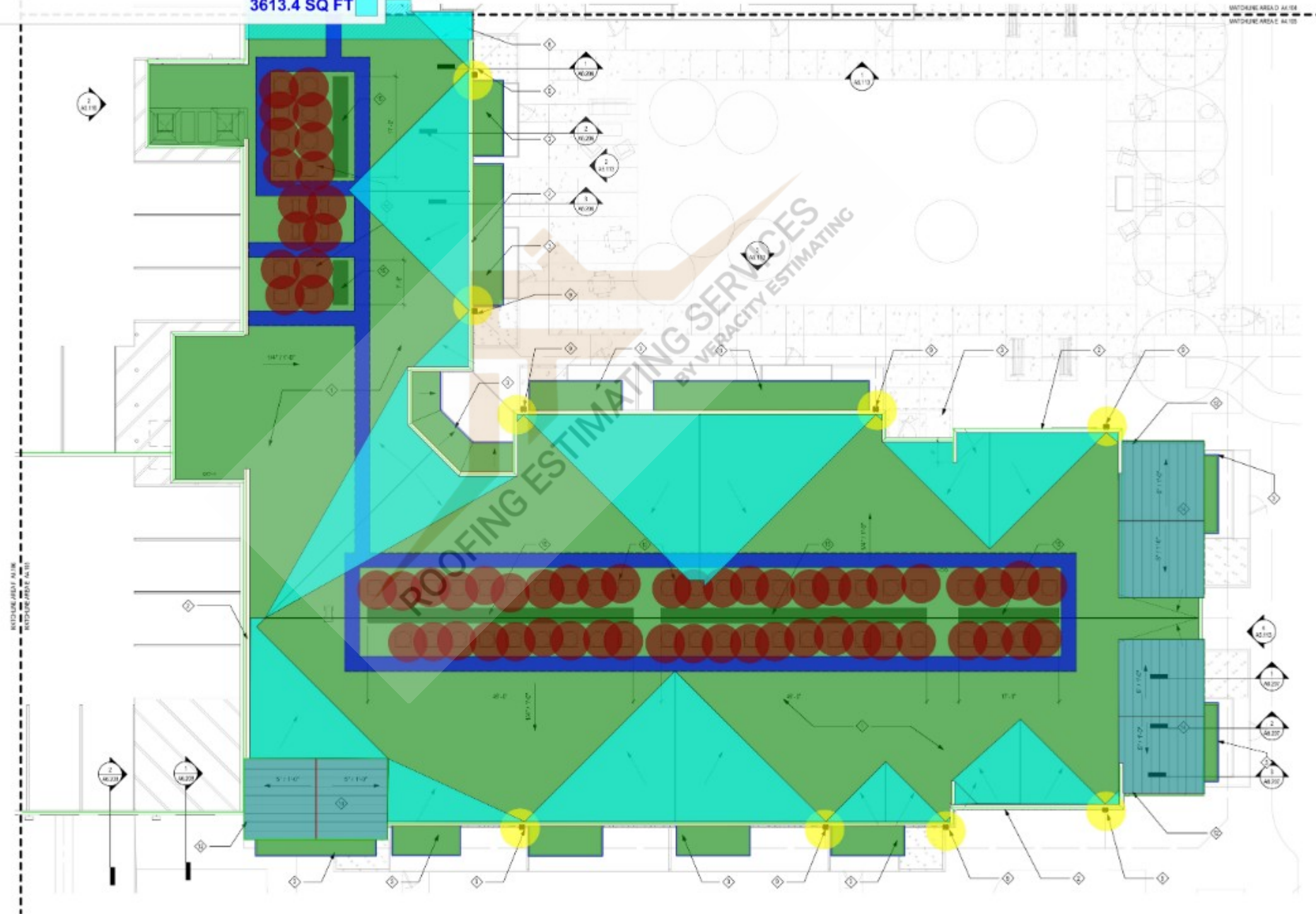
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- Note 2: Prefinished Metal Parapet Coping A6.301/1
- Flashing For Elevator opening
- Note 14: Standing Seam Metal Roof
- Note 1-Single Ply TPO Roofing Membrane
- A6301/17 & Step Wall Flashing
- A6301/17
- Note: 12 Gutter
- Ridge Flashing
- Note 9: Collection Box
- FRT Roof Sheathing
- Drip Edge Flashing
- Roof Walkway Pads
- Flashing For HVAC Equipment (11 LF)
- Tampered Insulation

652.8 FT
82.3 FT
1091.8 SQ FT
13531.7 SQ FT
224.8 FT
303.4 FT
83.1 FT
42.6 FT
9.0 EA
239.2 SQ FT
185.1 FT
1148.5 SQ FT
63.0 EA
3613.4 SQ FT



ROOF PLAN KEYNOTES	
1 SINGLE-PLY TPO ROOFING MEMBRANE	10 COLLECTION BOX, DOWNSPOUT, AND OVERFLOW SCUPPER
2 PREFINISHED METAL PARAPET COPING	11 MECHANICAL EQUIPMENT
3 CANOPY BELOW	12 HVAC ROOF CONNECTION
4 48" X 60" ROOF HATCH	13 GUTTER AND DOWNSPOUT
5 36" X 36" ROOF WALKWAY PADS, 42" O.C. TYP. ATTACH PER ROOFING MANUFACTURER'S GUIDELINES	14 DECORATIVE METAL CANOPY
6 ELEVATOR OVER RUN	15 STANDING SEAM METAL ROOF
7 TAPERED INSULATION CRICKET (PROVIDE SLOPE 1/4" PER FT. MIN.)	16 TRELLIS STRUCTURE
8 NO OPENINGS PERMITTED 4'-0" EACH SIDE OF FIREWALL. USE FRT ROOF SHEATHING OR 5/8" TYPE 'X' GYP. BOARD BELOW DECK	17 MECHANICAL COCKHOUSE



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REVISION LOG		
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PROJECT NO.	22-017
ISSUE DATE	02/02/25
ISSUE NAME	ISSUE FOR CONSTRUCTION

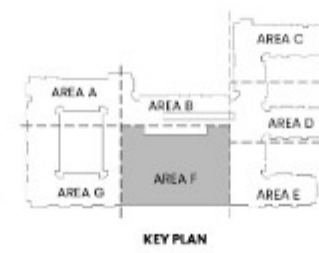


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ENLARGED ROOF PLAN
- AREA E

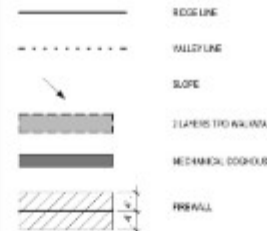
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- Flashing For Elevator opening
- Note1-Single Ply TPO Roofing Membrane
- Note: 12 Gutter
- Note 2: Prefinished Metal Parapet Coping A6.301/1

21.9 FT
305.4 SQ FT
17.7 FT
429.7 FT

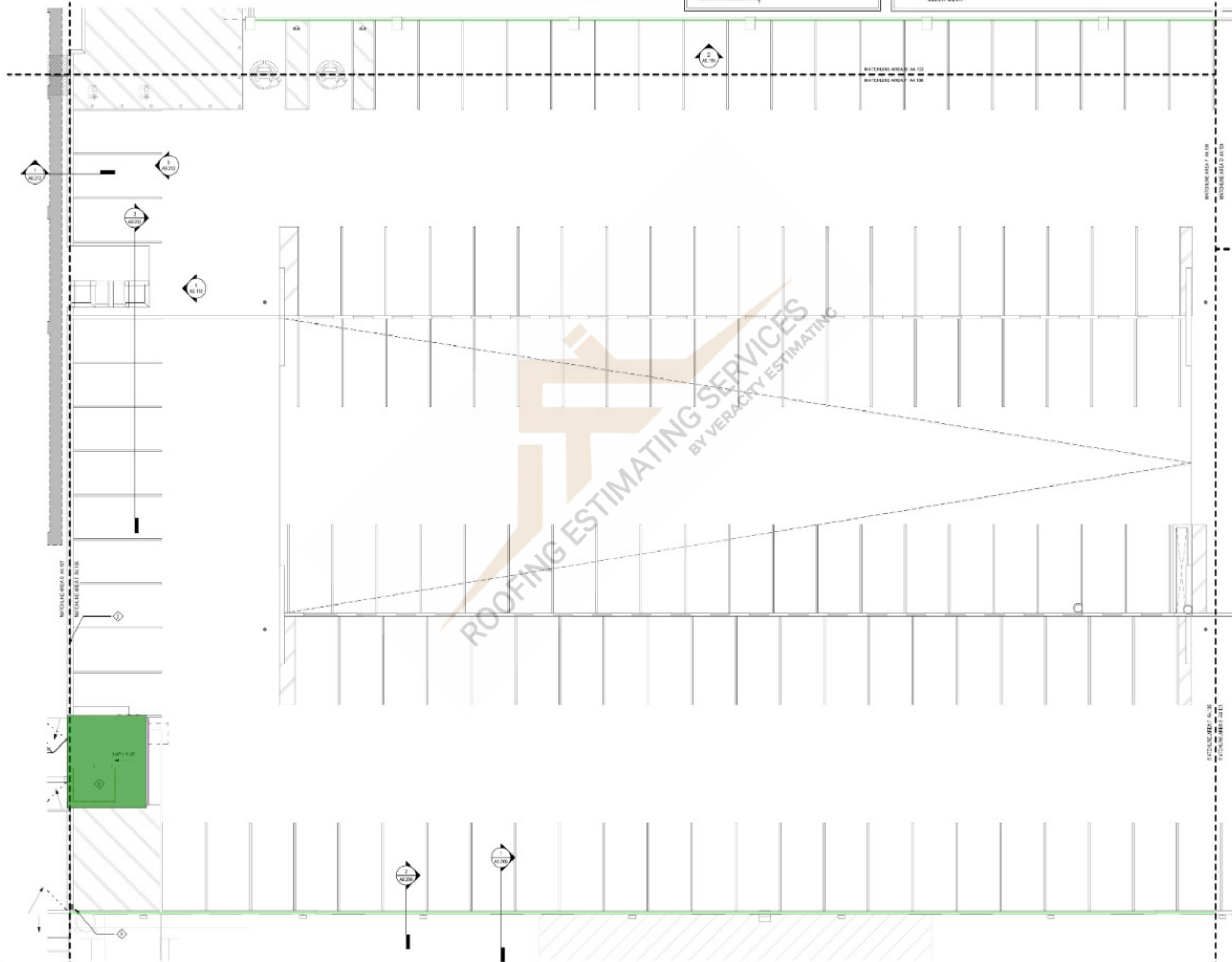


ROOF PLAN LEGEND



ROOF PLAN KEYNOTES

- 1 SINGLE PLY TPO ROOFING MEMBRANE
- 2 PREFINISHED METAL PARAPET COPING
- 3 CANOPY BELOW
- 4 48" X 48" ROOF HATCH
- 5 36" X 36" ROOF WALKWAY PADS, 42" O.C. TYP. ATTACH PER ROOFING MANUFACTURER GUIDELINES
- 6 ELEVATOR OVER RUN
- 7 TAPERED INSULATION CRICKET (PROVIDE SLOPE 1/4" PER FT. MIN.)
- 8 NO OPENINGS PERMITTED 4'-0" EACH SIDE OF FIREWALL. USE FRP ROOF SHEATHING OR 5/8" TYPE 'X' GYP. BOARD BELOW DECK
- 9 COLLECTION BOX, DOWNSPOUT, AND OVERFLOW SCUPPER
- 10 MECHANICAL EQUIPMENT
- 11 HVAC ROOF CONNECTION
- 12 GUTTER AND DOWNSPOUT
- 13 DECORATIVE METAL CANOPY
- 14 STANDING SEAM METAL ROOF
- 15 TRELLIS STRUCTURE
- 16 MECHANICAL DOORHOUSE



1 ENLARGED ROOF PLAN - AREA F

1/8" = 1'-0"



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INTERIOR DESIGN
B2 ARCHITECTURE
+ DESIGN

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02/04/25	ISSUE FOR CONSTRUCTION

REVISION LOG

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PROJECT NO.: 22-017
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ISSUE NAME: ROOF FOR CONSTRUCTION



SHEET NO.

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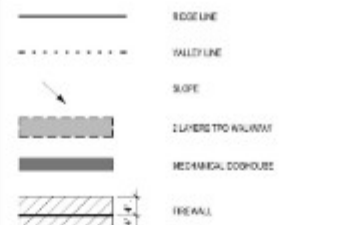
ENLARGED ROOF PLAN
- AREA F

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- Note: 12 Gutter
- Ridge Flashing
- Note 2: Prefinished Metal Parapet Coping A6.301/1
- Note 9: Collection Box
- A6301/17 & Step Wall Flashing
- Note1-Single Ply TPO Roofing Membrane
- A6301/17
- Drip Edge Flashing
- Note 14: Standing Seam Metal Roof
- FRT Roof Sheathing
- Note4: 48"x 48"Roof Hatch
- Roof Walkway Pads
- Flashing For HVAC Equipment (11 LF)
- Tampered Insulation

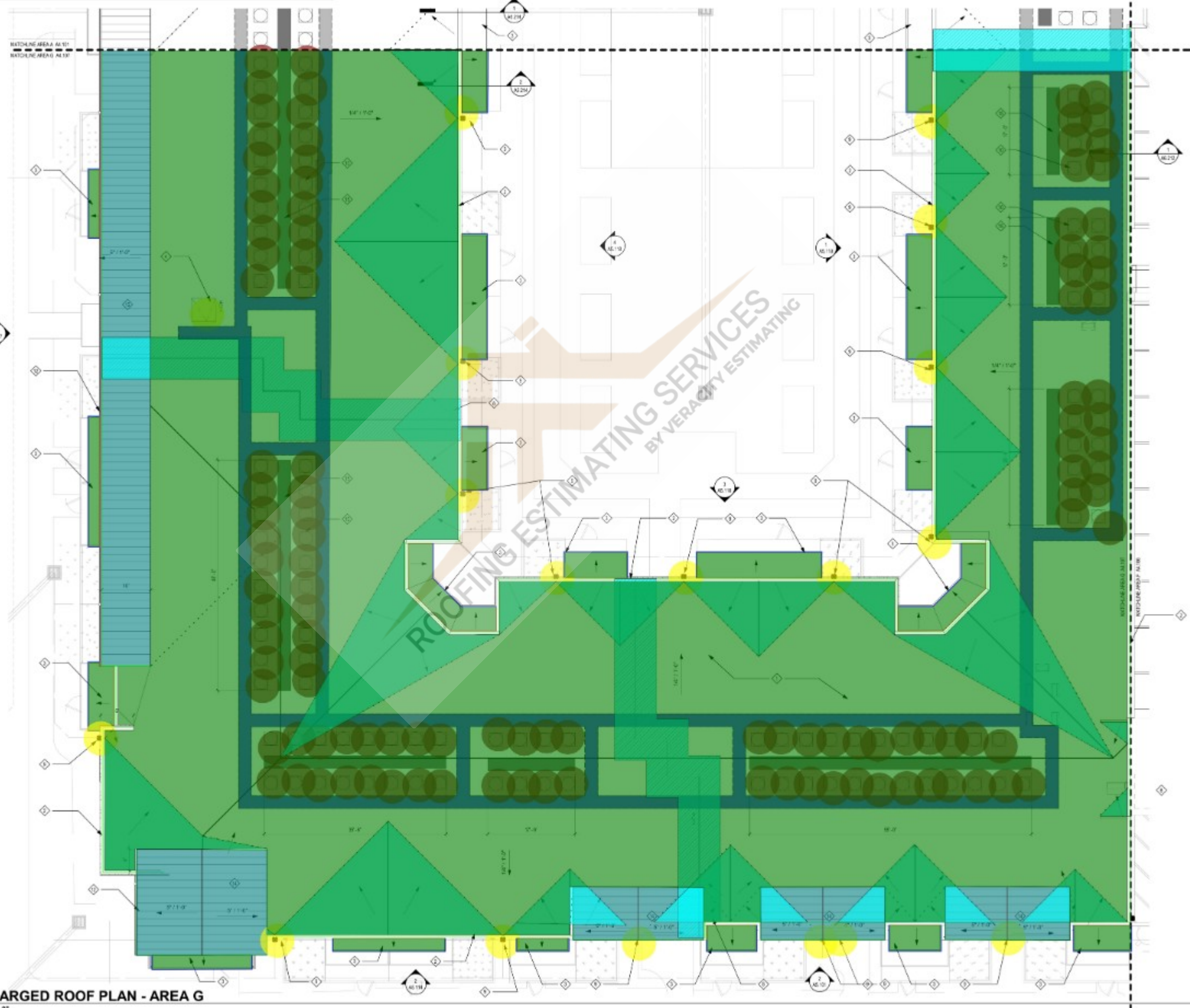
- 222.6 FT
- 74.8 FT
- 751.4 FT
- 20.0 EA
- 357.8 FT
- 23293.5 SQ FT
- 441.8 FT
- 432.3 FT
- 2447.1 SQ FT
- 1651.1 SQ FT
- 1.0 EA
- 2453.9 SQ FT
- 115.0 EA
- 4475.7 SQ FT

ROOF PLAN LEGEND



ROOF PLAN KEYNOTES

- 1 SINGLE-PLY TPO ROOFING MEMBRANE
- 2 PREFINISHED METAL PARAPET COPING
- 3 CANOPY BELOW
- 4 48" X 48" ROOF HATCH
- 5 36" X 36" ROOF WALKWAY PADS, 42" O.C. TYP. ATTACH PER ROOFING MANUFACTURER'S GUIDELINES
- 6 ELEVATOR OVER RUN
- 7 TAMPED INSULATION CRICKET (PROVIDE SLOPE 1/4" PER FT. MIN.)
- 8 NO SPRINGS PERMITTED 4' OF EACH SIDE OF FIREWALL, USE FRT ROOF SHEATHING OR 5/8" TYPE 'X' GYP. BOARD BELOW DECK
- 9 COLLECTION BOX, DOWNSPOUT, AND OVERFLOW SCUPPER
- 10 MECHANICAL EQUIPMENT
- 11 HVAC ROOF CONNECTION
- 12 GUTTER AND DOWNSPOUT
- 13 DECORATIVE METAL CANOPY
- 14 STANDING SEAM METAL ROOF
- 15 TRELLIS STRUCTURE
- 16 MECHANICAL DOCKHOUSE



1 ENLARGED ROOF PLAN - AREA G
1/8" = 1'-0"

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SHEET NO.
A4.107
ENLARGED ROOF PLAN
- AREA G

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